

1261/22

I-1252/2022



पश्चिम बंगाल पश्चिम बंगाल WEST BENGAL

313240

H 313240

21/02/22
11-300aw

24546931/22

Certified that the document in accordance
to registration. The signature sheet
and endorsement sheets attached to
the document are the part of the
document.

Additional District Sub-Registrar
Boghora, 24 Pgs. (04)

1 FEB 2022

DEVELOPMENT AGREEMENT

THIS DEED OF DEVELOPMENT AGREEMENT made this 21st day
of February, 2022,

BETWEEN

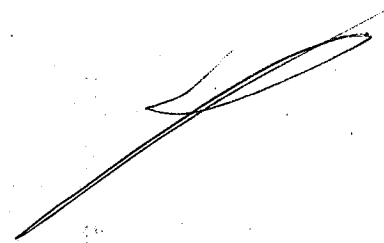
08 FEB 2022

08 FEB 2022

NAME.....
ADD.....
Rs.....
08 FEB 2022
S. CHATTERJEE
Licensed Stamp Vendor
C. C. Court
2 & 3, K. S. Roy Road, Kol-1

Arup Ray Chowdhury Asst

115 PGT K



045010 H



Handwritten signature

Addl. District Sub-Registrar
Belghoria, 24 Pgs. (N)

21 FEB 2022

SRI PRADIP KUMAR SANYAL, (PAN: ALAPS1712L), (AADHAAR NO: 419979956797), son of Late Durga Prosad Sanyal, by faith Hindu, Citizen of India, by occupation retired, residing at Flat No. A/15, 3rd floor, UJAS, 25, M.B. Road, P.O. and P.S. Nimta, Kolkata 700049, District North 24 Parganas, hereinafter called and referred to as the **OWNER** (Which term or expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include his heirs, executors administrators, legal representatives and assigns) of the "**FIRST PART**"

A N D

IM CREATIONS, (PAN: AGKPM9815F), a Proprietorship Concern, having its office at 1/1, Nagen Bhattacharjee Lane, P.O. & P.S. Belghoria, Kolkata - 700056, District North 24-Parganas, represented by its sole Proprietor **SHRI INDRANIL MUKHERJEE**, (PAN: AGKPM9815F), (AADHAAR NO: 764919674881), son of Sri Bimalendu Mukherjee, by faith Hindu, Citizen of India, by occupation business, residing at 81/1, M.B. Road, P.O. & P.S. Nimta, Kolkata - 700049, District North 24-Parganas, hereinafter called and referred to as the **DEVELOPER** (which term or expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include its successor or successors in office) of the **SECOND PART**;

WHEREAS Sri Abhimunnya Ghosh, was the absolute owner of certain area of land in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, within North Dum Dum Municipality, under P.S. formerly Dum Dum at present Nimta, District formerly 24-Parganas at present North 24-Parganas;

AND WHEREAS on 8th July, 1957 by a Deed of Conveyance registered in the office of the Sub-Registrar at Cossipore Dum Dum and recorded in Book No. I, Volume No. 92, Pages 89 to 92, Being No. 5312 for the year 1957 and made by and between the said Sri Abhimunnya Ghosh, therein described as the Vendor of the One Part and Smt. Kiran Bala Roy, therein described as the Purchaser of the Other Part the said Vendor for a valuable consideration mentioned therein sold, conveyed and transferred a portion of the said land measuring 4 Kathas 10 Chataks 30 Sq. Ft. be the same a little more or less in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, within North Dum Dum Municipality, under P.S. formerly Dum Dum at present Nimta, District formerly 24-Parganas at present North 24-Parganas;

AND WHEREAS in the events that have happened the said Smt. Kiran Bala Roy thus became the absolute owner of the said land measuring 4 Kathas 10

Chataks 30 Sq. Ft. be the same a little more or less in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, within North Dum Dum Municipality, under P.S. formerly Dum Dum at present Nimta, District formerly 24-Parganas at present North 24-Parganas;

AND WHEREAS on 8th August, 1966 by a Deed of Conveyance registered in the office of the Sub-Registrar at Cossipore Dum Dum and recorded in Book No. I, Volume No. 110, Pages 76 to 80, Being No. 7271 for the year 1966 and made by and between the said Smt. Kiran Bala Roy, therein described as the Vendor of the One Part and Smt. Renuka Sanyal, therein described as the Purchaser of the Other Part the said Vendor for a valuable consideration mentioned therein sold, conveyed and transferred the said land measuring 4 Kathas 10 Chataks 30 Sq. Ft. be the same a little more or less in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, within North Dum Dum Municipality, under P.S. formerly Dum Dum at present Nimta, District formerly 24-Parganas at present North 24-Parganas;

AND WHEREAS in the events that have happened the said Smt. Renuka Sanyal thus became the absolute Owner of the said land measuring 4 Kathas 10 Chataks 30 Sq. Ft. be the same a little more or less in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, within North Dum Dum Municipality, under P.S. formerly Dum Dum at present Nimta, District formerly 24-Parganas at present North 24-Parganas;

AND WHEREAS on 24th July, 1992 by a Deed of Gift registered in the office of the Additional District Sub-Registrar at Cossipore Dum Dum and recorded in Book No. I, Volume No. 99, Pages 183 to 190, Being No. 4303 for the year 1992 and made by and between the said Smt. Renuka Sanyal, therein described as the Donor of the One Part and Sri Pradip Kumar Sanyal, the Owner therein and described as the Donee of the Other Part the said Donor out of her natural love and affection for the said Donee, who was her son, gave, devised and bequeathed a portion of the said land measuring 1 (one) Kathas 6 (six) Chataks 40 (forty) Sq. Ft. be the same a little more or less together with the building standing on portion thereon, in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, within North Dum Dum Municipality, under P.S. Nimta, District North 24-Parganas;

AND WHEREAS after the said Deed of Gift the said Sri Pradip Kumar Sanyal duly mutated his name in the records of Municipality and the said land has since been reassessed and renumbered as Holding No. 7 (8), under Ward No. 8, at S.B.

Roy Chowdhury Road, within North Dum Dum Municipality, under P.S. Nimta, District North 24-Parganas;

AND WHEREAS the said Owner namely Sri Pradip Kumar Sanyal duly mutated his name in the records of B.L. and L.R.O. and the said land has since been recorded in Dag No. 5390 under L.R. Khatian No. 6810, P.S. Nimta, District North 24-Parganas;

AND WHEREAS in the events that have happened the said Sri Pradip Kumar Sanyal thus becomes the absolute Owner of the said land measuring 1 (one) Katha 6 (six) Chataks 40 (forty) Sq. Ft. together with the building standing on portion thereon in Mouza Dakshin Nimta, J.L. No. 8, R.S. No. 102, Touzi No. 173, R.S. and L.R. Dag No. 5390, R.S. Khatian Nos. 1278/1 and 422, now L.R. Khatian No. 6810, within North Dum Dum Municipality, under P.S. Nimta, District North 24-Parganas fully described in the **FIRST SCHEDULE** hereunder written;

AND WHEREAS the Owner has approached the Developer to undertake the planned development of the said land by constructing a new multi storied (G+3) building thereon comprising of several self contained residential flats, garages etc. on ownership basis according to the sanctioned building plan from its own financial resources and endeavour and whereof the Developer has agreed to do the same on the terms and conditions agreed herein and contained hereunder and also the Owner has agreed to allow, authorize, empower, entrust and permit the Developer herein to do so on the terms and conditions hereinafter contained.

NOW THIS AGREEMENT WITNESSETH that in pursuance of this Agreement, the parties hereto have agreed for development and for constructing the said multi- storied (G+3) building on the said plot of land and it is hereby agreed to and declared by and between the parties hereto as follows:-

ARTICLE I : DEFINITIONS :

Unless the context or subject otherwise, requires, words or expression contained in this agreement shall have the following meaning.

I. **THE SAID PROPERTY:** shall mean and include the land measuring 1 (one) Katha 6 (six) Chataks 40 (forty) Sq. Ft. be the same a little more or less together with the building standing on portion thereon in Mouza Dakshin Nimta, Police Station Nimta, appertaining to R.S. and L.R. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422 now L.R. Khatian No. 6810, J.L. No. 8, R.S. No. 102, Holding No. 7 (8), Ward No. 8, at S.B. Roy Chowdhury Road, within North Dum Dum Municipality,

Kolkata 700049, District North 24-Parganas, fully described in the **FIRST SCHEDULE** hereunder written.

II. **THE NEW BUILDING** : shall mean and include the new proposed multi-storied (G+3) building consisting of several flats.

III. **THE SAID LAND SHALL MEAN** : the total land contained in "The said property"

IV. **SANCTIONED BUILDING PLAN** : shall mean and include the plan for construction of the proposed new building and/or other structures which shall be sanctioned by the North Dum Dum Municipality and/or other appropriate authority or authorities on the maximum permissible floor area ratio available under the building rules and laws and shall include any amendments thereto and/or modification, elevations, designs, maps, drawing and other specification thereof as may be made from time to time for construction of the proposed building and only in accordance of which the said building shall be constructed.

V. **COMMON AREAS AND FACILITIES** : shall include the common areas and facilities in the building for use of the Owner/Developer and all occupiers of flats and spaces of the building as described in the **THIRD SCHEDULE** hereunder written;

VI. **FLAT**: shall mean any self-contained flat/apartment in the premises including all fittings and fixtures therein and/or appurtenant thereto agreed to be constructed.

VII. **CONSTRUCTION AREA**: shall mean the total constructive areas as may be sanctioned by the Municipality and/or any such authority/authorities in power to govern the same.

VIII. **OWNER**: shall mean the Owner's named above and including his legal heirs, representatives etc.

IX. **DEVELOPER/PROMOTER**: shall mean the Developer name above and include its legal representatives, administrators and assigns and successor/s in office.

X. **PURCHASER**: shall mean and include any person, persons, individual, company, partnership Firm etc. interested in purchasing flat/garage/shop in the proposed new building at the said premises.

XI. **OWNER'S PORTION/CONSIDERATION**: shall mean total super built up area measuring more or less 1456 (one thousand four hundred fifty six) Sq. Ft. which comprising of 2 (two) separate residential flats on the different floors in the new building together with the proportionate share and/or interest in the land and the common areas and facilities.

The Owner's portion shall be distributed in accordance with the provisions mentioned in the **SECOND SCHEDULE** (I) hereunder written.

The Developer ensures that the Owner's portion shall be made in the manner as specified in the **FOURTH SCHEDULE** hereunder written.

XII. **DEVELOPER'S PORTION:** shall mean the entire remaining portion of the new building to be constructed by the Developer together with the proportionate share and or interest in the land and the common areas and facilities in accordance with the provisions mentioned in the **SECOND SCHEDULE** (II) hereunder written.

XIII. **ENCUMBRANCES:** shall mean charges, liens, lispense, claims, liabilities, trusts, demands, acquisitions or requisitions of Government and Public Authorities.

XIV. **SINGULAR NUMBER:** shall include the plural and vice-versa.

XV. **MASCULINE:** shall mean and include feminine and vice versa.

XVI. **COVERED AREA:** shall mean the total covered area together with the proportionate share of stair, lobby, passage, etc.

XVII. **FLAT AREA:** Covered area plus proportionate share of the stair case, lift/lobby/passage area and thereafter 25% shall be added which shall be considered as super built up area.

ARTICLE II : OWNER'S REPRESENTATION & INDEMNITY ON TITLE:

i) The Owner hereby declares that he is the absolute Owner of the said property mentioned in the First Schedule hereunder and the same are free from all encumbrances and the Owner has a good and marketable title in respect thereof and there is no impediment to the development of the said property and/or entrusting the work of the construction of the building to the Developer in the manner as herein agreed upon. Furthermore, Owner also declares that the said property is in his absolute possession and occupation. The Owner also declares that he will be sole responsible if any time it appears that the title and/or ownership of the said property is defective.

ii) The original Title Deeds, Tax Receipt and other relevant original Documents, in respect of the said property shall be kept with and/or in the custody of the Developer and after completion of the said two storied building the Developer shall hand over the said Title Deeds, Tax Receipt and other relevant original Documents to the Owner and in case the Developer/Promoter fails to complete the construction of the said building and/or agrees with the Owner to cancel/revoke this instants agreement on that event the Developer/Promoter shall remain liable to return the said original documents to the Owner at once.

- iii) The Owner agrees that after the execution of this Agreement the Owner shall not in any manner encumber, mortgage, sell, transfer, let out or otherwise deal with or dispose of the said property or portion thereof except in the manner as herein expressly provided.
- iv) The Owner hereby also undertakes and declares that he is the absolute Owner of the property and the property is free from all encumbrances charges etc., and the Developer shall be entitled to construct and complete the new building on the said property as per the plan to be sanctioned by the Municipality and to retain and enjoy the Developer's portion therein without any interruption or interference from the Owner or any person or persons lawfully claiming through or under the Owner and the Owner hereby undertakes to indemnify and keep the Developer indemnified against all losses, damage, costs charges and expenses incurred as a result of any breach of these undertaking or declaration.
- v) The Owner shall make the said property available to the Developer immediately after the execution of this Development Agreement.
- vi) The Owner shall bear and pay all rates and taxes and all other outgoings in respect of the said premises till the end of last quarter immediately preceding the execution of the Agreement. Thereafter the Developer shall bear and pay all rates and taxes and other outgoings in respect of the said premises till the Owner are provided with the Owner's portion of the Building. Besides the above, the GST, if any, payable to the Government for the Owner's allocation, shall be paid by the Owner by himself directly or through the Developer.
- vii) From the date of handing over the Owner's portion to the Owner or his nominee or nominees on its due completion, the Owner shall be exclusively responsible for payment of all due Municipal taxes, rates and all other statutory outgoings and imposition whatsoever (hereinafter referred to as the 'Said Rates') payable in respect of the Owner's portion. Similarly the Developer and/or its nominee or nominees shall be responsible for payment of the said rates payable in respect of the Developer's portion. In case the said rates are levied on the Building as a whole, then and on such event it shall be apportioned pro-rata.

ARTICLE - III: DEVELOPER'S REPRESENTATION AND OBLIGATION.

- i) The Developer hereby undertakes to construct the new building in accordance with the sanction plan at its own costs.
- ii) In carrying out the said development work and/or construction of the new building the Developer shall keep the Owner indemnified from and against all third

party claims or compensations and actions due to any act of omission, commission or technical defect of the contractor or any accident in or related to the construction of the building for which the entire legal responsibility shall be of the Developer.

ARTICLE : IV : BUILDING:

- i) The Developer shall at its own costs construct the building in or upon the said property in accordance with the sanction plan without any hindrance or disturbance by or on behalf of the Owner or any person claiming under them.
- ii) The Developer shall be entitled to at its own costs to apply for and obtain temporary and/or permanent connection of water, sewers, electricity power, to the building and other public utilities and facilities to the said property during the period of construction. The Owner or his legal heirs shall sign, execute and deliver all papers and applications signifying their consent and approval to enable the Developer to obtain such public utility service and facilities.
- iii) The Developer hereby undertakes to complete the construction of the building diligently and expeditiously and offer the Owner's allocated portion to the Owner within 36 (thirty six) months from the date of sanction of the building Plan unless prevented by circumstances beyond its control. In such eventualities the time shall be reasonably extended by the Owner.
- iv) Simultaneously with the execution of these presents, the Owner shall execute a registered Power of Attorney in favour of the Developer whereby the Developer shall be authorised to represent the Owner before the Municipality, or any other authority or authorities and to sign any application, scheme, map, drawing or any other writing in this behalf and to sell the Developer's portion in the said newly constructed building to the intending purchaser or purchasers according to its choice and to do all acts authorized on the basis of the said power of attorney.
- v) That the Developer shall be at liberty to enter into agreement with the prospective buyers of the flats except the Owner's portion at the proposed building with proportionate undivided share or interest in the land over which the proposed building will be constructed by the Developer and to receive all the sale proceeds thereof and the Owner shall not have any claim whatsoever on the same or any part thereof.
- vi) The Developer shall be entitled to give possession and shall execute and register the requisite deed of conveyance or conveyances in favour each of the intending Purchaser/Purchasers in respect of Developer's portion and the Owner shall be debarred from demand or claiming for any consideration money or value in

respect of the land or anything attached thereto from the Developer and/or from the intending Purchaser/ Purchasers.

vii) The Owner shall pay all outstanding arrears of Municipal Taxes and other outgoings, if any, in respect of the said land till execution of this agreement. The Developer shall pay the Municipal and other Government rents and taxes from the date of execution of this agreement till the handing over the possession of the said Owner's allocation to the Owner and the Owner shall be liable for proportionate taxes and rents to the Government only in respect of his share as mentioned above as Owner's Allocation upon getting possession of their share of allocation of the building.

viii) The Developer shall be entitled to put its sign boards on the said land stating the name of the Developer, its address and other particulars as may be required from the date of execution of this agreement. The Developer has the right to advertise in news papers, magazines, T.V. or any manner whatsoever in the name of the firm for publicity and sell of flats, or other spaces which shall be within the Developer's allocation in the said New Building.

ARTICLE - V : CONSIDERATION & SPACE ALLOCATION :

i) Upon completion of the construction of the new building the Owner shall be allotted the Owner's portions, including common area and facilities and upon completion of construction of the new building the Developer's portion shall belong to the Developer exclusively and the developer shall be entitled to deal with and dispose of the residential flats and other spaces of its portion together with the proportionate share or interest in the land, common areas and other facilities.

ii) The Owner shall be entitled to transfer or dispose of the Owner's portion of the building or right to use their portion with other owner of the building with the common areas and facilities situated thereon without any rights, claim, demand, interest and whatsoever or howsoever of the Developer and any person or persons lawfully claiming on its behalf.

iii) The Developer shall also be similarly exclusively entitled to the Developer's portion in the Building same as Owner and in the common area and facilities situated thereon with the exclusive right to deal with and enter into agreement, sell the same and transfer the same without any right, claim, demand, interest whatsoever or howsoever of the Owner. Provided always that after the execution of this Development Agreement the Developer shall be entitled to enter into agreement or agreements or contracts for transfer and/or dispose of the area of the Developer's

portion on its responsibility and to receive earnest money and payments for the sale of the area of the Developer's portion for which the Owner shall in no way be responsible. Similarly after the execution of this Development Agreement the Owner shall be entitled to at all times to enter into agreement or agreements or contracts for transfer and/or dispose of the area of their portion on their responsibility.

iv) All the parties hereby agreed that the Owner shall have every right to inspect the construction work regarding materials of the building and the Owner can also measure the Owner's allocation with the help of his Engineer and shall be allowed to do any such act or acts as is lawful at the time and/or mutually agreed by and between the Developer and the Owner.

ARTICLE - VII : MISCELLANEOUS:

i) The Developer shall bear and pay all rates and taxes and all other outgoings in respect of the said premises till the end of last quarter immediately preceding the execution of the Agreement. Thereafter the Developer shall bear and pay all rates and taxes and other outgoings in respect of the said premises till the Owner is provided with the Owner's portion of the Building.

ii) From the date of handing over the Owner's portion to the Owner on its due completion, the Owner shall be exclusively responsible for payment of all due Municipal taxes, rates and all other statutory outgoings and imposition whatsoever (hereinafter referred to as the 'Said Rates') payable in respect of the Owner's portion. Similarly the Developer and/or its nominee or nominees shall be responsible for payment of the said rates payable in respect of the Developer's portion. In case the said rates are levied on the Building as a whole, then and on such event it shall be apportioned pro-rata.

iii) The Owner and the Developer have executed this Agreement purely on Principal to Principal basis and each party shall keep the other party indemnified from and against the same.

iv) The Developer may amalgamate the Owner's land with the adjacent land or lands and thereafter raise the multistoried building on the amalgamated land.

ARTICLE VIII - JURISDICTION.

Only Courts in the competent jurisdiction in the District of North 24-Parganas shall have the jurisdiction to try and determine all actions, suits and proceedings arising out of these presents between the parties.

THE FIRST SCHEDULE ABOVE REFERRED TO.

ALL THAT piece and parcel of land measuring 1 (one) Katha 6 (six) Chataks 40 (forty) Sq. Ft. be the same a little more or less together with the cemented floor two storied building standing on portion thereon measuring 900 (nine hundred) Sq. Ft. out of which more or less 500 (five hundred) in the ground floor and more or less 400 (four hundred) Sq. Ft. in the first floor together with all right over into and upon the 3' 6" (three feet six inches) wide passage to the west of the said land running from north to south, in Mouza Dakshin Nimta, Police Station Nimta, Additional District Sub-Registry Office Belghoria, formerly at Cossipore Dum Dum, appertaining to R.S. and L.R. Dag No. 5390, under R.S. Khatian Nos. 1278/1 and 422, now L.R. Khatian No. 6810, J.L. No. 8, R.S. No. 102, Holding No. 7 (8), Ward No. 8, at S.B. Roy Chowdhury Road, within North Dum Dum Municipality, Kolkata 700049, District North 24-Parganas and the same is butted and bounded in the manner as follows:

ON THE NORTH BY	:	House of Smt. Dali Sanyal and others,
ON THE EAST BY	:	House of Smt. Saraswati Dasi,
ON THE SOUTH BY	:	House of Sri Gopal Chandra Mukherjee,
ON THE WEST BY	:	3' 6" (three feet six inches) wide passage.

THE SECOND SCHEDULE ABOVE REFERRED TO

I

OWNER'S PORTION AND CONSIDERATION

(Two Residential Flats of the Owner)

I. All that one residential flat on the south west side, measuring super built up area more or less 728 (seven hundred twenty eight) Sq. Ft. in the second floor comprising of two bed rooms, one kitchen cum dinning, two toilets and one balcony together with the undivided proportionate share or interest in the land mentioned in the First Schedule hereinabove written and the common area and facilities mentioned in the Third Schedule hereinafter written.

II. All that one residential flat on the south west side, measuring super built up area more or less 728 (seven hundred twenty eight) Sq. Ft. in the third floor comprising of two bed rooms, one kitchen cum dinning, two toilets and one balcony together with the undivided proportionate share or interest in the land mentioned in the First Schedule hereinabove written and the common area and facilities mentioned in the Third Schedule hereinafter written.

II**DEVELOPER'S PORTION:**

The entire remaining portion of the new building to be constructed by the Developer on the said land together with undivided proportionate share or interest in the land mentioned in the First Schedule hereinabove written and the common area and facilities mentioned in the Third Schedule hereinafter written.

THE THIRD SCHEDULE ABOVE REFERRED TO :

(Common Area)

1. The said land described in the First Schedule hereinabove written.
2. The foundation, columns, beams, supports, main walls, stair, lift stairways and entrances and exits of the building.
3. Concealed electrical wiring and fittings and fixtures for lighting in the staircase, common passage and other common areas in the building and the said land.
4. Drains and sewers from the building to the Municipal ducts.
5. Staircase and lobbies.
6. Water Pump and meter together with the space required therefore, deep tube well, overhead tank and distribution pipes from the tank to different units and from deep tube well to the overhead tank.
7. Water and evacuation pipes from the units to drains and sewers common to the building.
8. Boundary walls and main gate of the said land.
9. It is clarified that the common portion shall include the open space reserved in the said land surrounding the said building which is left open as per building regulations. The roof and the parapet walls of the building will also be a part of common portion for the co-owners of the building. The co-owners are not entitled to make any kind of temporary or permanent construction on the roof of the building or the common passage.
10. All apparatus and installations in the said building for common use.
11. The overhead water tank or reservoir.

THE FOURTH SCHEDULE ABOVE REFERRED TO :**Technical Specification:**

1. Main Door: Teak Wood Body Framed by Sal Wood.
Frame size - 4in. x 2.5in. Door Size - 3.5ft. x 7ft. x 32mm.

2. Inner Door: Flush door framed by Sal Wood.
Frame size - 4in. x 2.5in. Door Size -3.ft. x 6.5ft. x 32mm.
3. Toilet & W/C Door: PVC door framed by PVC.
4. Window : 3mm Glass Framed by 1.3 mm Aluminium Channel.
5. Floor : 2ft. x 2ft. Vitrified Tiles.
6. Toilet & W/C Floor : 2ft. x 2ft. Marble.
7. Wall : Covered with Putty.
8. Electricals : 34 Nos. Pt. including 2AC & 1G Pt.
9. Water Supply : 11Nos.Pt.(Kitchen-3, Toilet-5, W/C-2, Washing Machine-1)
10. Paint : Grill paint by Red led, Door body & Frame paint by wood primer.
11. Outside Paint : Whether Coat.
12. Toilet & W/C : 6ft. Gloss Tiles fitting Wall.
13. Kitchen : Cooking Table Top covered with Green Marble. 2ft. Gloss Tile on table top. Steel Sink set in corner side.
14. Basin : 16in x 20in size ceramic basin will be set as per floor plan. 3ft x 3ft tiles on basin top.

Materials to be used:

1. Cement : ACC/ JSW/Ultratech.
2. Iron : Captain/DSP/MSM.
3. Brick – Concrete Block/ACC ECO/NKP etc.
4. Ceramic fittings- i) Commode : Hindware (PWC Popular)
ii) Basin : Hindware (Cello)
5. Water Pt. fittings - Marc (Oriental)/Roles(Star)
6. Sewage pipe – Supreme/ Finolex.
7. Plumbing pipe – Oriplast/Finolex (push).
8. Electrical Wire - a) Finolex / Habells. b) Switch - Crabtree Modular.
9. Marble – Toilet, W/C and Stair Case : White Marwar.
10. Tile – Nitco/ Somani / liza.
11. Putty – Berger.
12. Submersible Pump – CRI.
13. Inner door – Membrane.
14. PVC door – Raunaq.
15. Wood Primer – Berger parrot primer.
16. Weather coat - Asian Paints.
17. Grill paint – ICI 5in1
18. Inside paint – Asian paints Tractor Emulsion.

19. Elevator – Altavista/ Jhonson.

- Elevation : A unique blend of oriental & modern architecture.
- Exterior : Weather coat finish.
- Interior Staircase/Lobby : Flooring with Marble, decorated railing made of Iron grill. Stair case landing & entrance lobby will be finished with Marble.
- Passage/common area : Passage & common area will be covered & finished with Net cement.
- Living/Dining/Bedroom : **Flooring** : 2 ft. x 2 ft. Floor Tiles with 4 inch skirting.
Wall : Outer wall common wall & partition wall with 8" and 5" respectively with standard quality bricks in cement mortar as per sanction Building plan. Wall covered with cement plaster then finish with Putty, double coat primer and double coat paint.
Doors : Main door – Teak Wood Body Framed by Sal Wood. Frame Size : 4in x 2.5in. Main Door Size – 3.5 ft. x 32mm. Inner Door : Flush door framed by Sal Wood. Frame size – 4in. x 2.5in. Door Size : 3ft. x 6.5 ft. x 32mm.
Windows : 3mm Glass framed by 1.3 mm Aluminium Channel.
- Kitchen : Flooring : 2ft. x 2ft. floors tiles with 4 inch skirting.
 Wall : As per sanction Building plan. Wall covered with cement plaster then finish with Putty, double coat primer and double coat paint.
 Cooking Table Top covered with Green Marble.
 2ft. Gloss Tile on table top. Steel Sink set in corner side.
- Toilet/W.C. : Flooring : 2ft. x 2ft. Marble with 4 inch skirting. (Acid Polish)
 Wall : As per sanction Building Plan. Wall covered with cement plaster then finish with Putty, double coat primer and double coat paint. 6ft. Gloss Tiles fitting on the wall.
 Doors : PVC door framed by PVC.
 Frame size – Normal size. Door size – 2.5ft. x 6.5ft.
 Windows : Aluminium skylight.

- Water Supply : Submersible pump with pump set & PVC distribution system with R.C.C. overhead tank.
- Structure : R.C.C. frame structure with individual & combined footing foundation.
- Brick work / walls : Outer wall, common wall & partition wall with 8 inch, 5 inch respectively with standard quality bricks in cement mortar.

Sanitary Arrangement: :

1. Common Bathroom :	Qty.	Item	Size inch
	1	Wash Basin	20"×16"
	1	PVC Cistern	Standard size
	1	Western Commode	Standard size
	1	Shower with arm	Standard size
	3	Bib cock	Standard size
	3	Angular stop cock	Standard size
	1	Gizer point	
2. Attached W.C.	1	Western Commode	Standard size
	1	PVC Cistern	Standard size
	1	Angular Stop Cock	Standard size
	1	Bib Cock	Standard size
3. Kitchen	1	Sink	20"×16"
	2	Bib Cock	Standard size
4. Washing Machine	1	Bib Cock	

Electrical Arrangement:

1. Wiring :	Light Pt.	Fan Pt.	Plug Pt.(6amp.)	Power Pt (16amp)
Bed Rooms	4 nos.	2 nos.	4 nos.	2 nos (AC)
Drawing & Dining no.		1 no.	2 nos.	2 nos.+ TV Cable 1
Kitchen	1 nos.	1 no. (exhaust)	2 nos.	1 no.
Toilet & WC	2 nos.	2 no. (exhaust)		1 no.
Basin	1 no.			
Balcony	1 no.		1 no	1 no.
Calling Bell 2pt. Total 34 pts.				

Specification :

- i) Wire : Finolex / Havells a) .75 mm, b) 1.5 mm, c) 2.5 mm d) 4 mm e) 6 mm
- ii) Switch Box with MS Box : Crabtree (Havells) Modular
- iii) MCB DB 8 Way : Havells
- iv) 32 amp. Main Switch : Havells
- v) All related materials
- vi) No. of pt. per Flat : 34 Nos.
- vii) No. of pt. Common : Outside Area -6 Nos., Stair Case - 18Nos., Roof: 3Nos.,

N.B.: Brands & materials may be changed as per desire of the owner & for such changes prior written consent from their end should reach the Developer. The extra expenses for such change must be paid to the Developer in advance.

IN WITNESSES WHEREOF the parties above hereunto set and subscribed their respective hands and seals on the day, month and year first above written.

SIGNED SEALED AND DELIVERED at

Nimta, Police Station Nimta, Kolkata, 700049,
District North 24 Parganas, in the presence of :-

1. *Chitra Sanyal*
Plat No. A/15, 3rd Floor
Ujas, 25, M.B. Road
P.O. & P.S. Nimta
Kolkata - 700049

Preadip Kumar Sanyal
SIGNATURE OF THE OWNER.

2. *Tapas Dey*
150, Profulla Nagar
P.O. & P.S. - Belghoria
Kolkata - 700056

IM Creations
Indranil Mukherjee
Proprietor

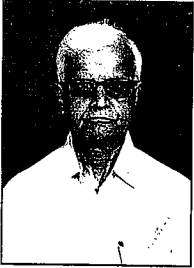
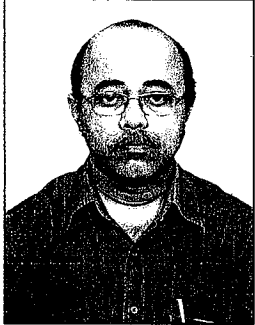
SIGNATURE OF THE DEVELOPER.

Drafted by me
Asim Ray
Advocate,
High Court Calcutta,
Enrollment No. WB/817/1991.

FINGERPRINT

L.H. BOX. SMALL TO THUMB PRINTS
R.H. BOX-THUMB TO SMALL PRINTS

SIGNATURE AND PHOTO.

 Pradip Kumar Sanyal					
	Little	Ring (Left)	Middle Hand)	Fore	Thumb
					
	Thumb	Fore (Right)	Middle Hand)	Ring	Little
 Indranil Mukherjee					
	Little	Ring (Left)	Middle Hand)	Fore	Thumb
					
	Thumb	Fore (Right)	Middle Hand)	Ring	Little



Pradip Kumar Sanyal



भारत सरकार
Government of India

भारतीय विशिष्ट पहचान प्राधिकरण
Unique Identification Authority of India

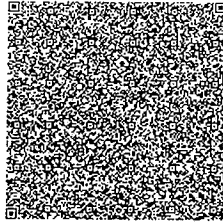
Enrolment No.: 2834/09776/97900

Download Date: 28/07/2021

To
Pradip Kumar Sanyal
C/O: Durgaprosad Sanyal
ujas apartment, 3rd-fr, FI-A-15
25. M.B. road
North Dumdum (m)
Nimta
North 24 Parganas West Bengal - 700049
9836026078

Issue Date: 24/06/2021

Signature Not Verified
Digitally signed by Pradip Kumar Sanyal
Unique Identification Authority of India
Date: 2021.07.28 09:44:53
IST



आपका आधार क्रमांक / Your Aadhaar No. :

4199 7995 6797

VID : 9159 8156 1585 1823

मेरा आधार, मेरी पहचान



भारत सरकार
Government of India



Pradip Kumar Sanyal
Date of Birth/DOB: 06/11/1943
Male/ MALE

Issue Date: 24/06/2021

4199 7995 6797

VID : 9159 8156 1585 1823

मेरा आधार, मेरी पहचान

Pradip Kumar Sanyal



Department of India



सूचना

- आधार पहचान का प्रमाण है, नागरिकता का नहीं।
- सुरक्षित QR कोड / ऑफलाइन XML / ऑनलाइन ऑथेंटिकेशन से पहचान प्रमाणित करें।
- यह एक इलेक्ट्रॉनिक प्रक्रिया द्वारा बना हुआ पत्र है।

INFORMATION

- Aadhaar is a proof of identity, not of citizenship.
- Verify identity using Secure QR Code/ Offline XML/ Online Authentication.
- This is electronically generated letter.

- आधार देश भर में मान्य है।
- आधार कई सरकारी और गैर सरकारी सेवाओं को पाना आसान बनाता है।
- आधार में मोबाइल नंबर और ईमेल ID अपडेट रखें।
- आधार को अपने स्मार्ट फोन पर रखें, mAadhaar App के साथ।

- Aadhaar is valid throughout the country.
- Aadhaar helps you avail various Government and non-Government services easily.
- Keep your mobile number & email ID updated in Aadhaar.
- Carry Aadhaar in your smart phone – use mAadhaar App.

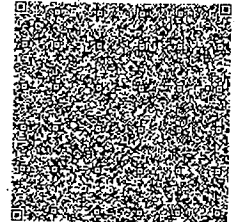


भारतीय विशिष्ट पहचान प्राधिकरण
Unique Identification Authority of India



Address:

C/O: Durgaprosad Sanyal, ujas apartment,
3rd-fr, FI-A-15, 25. M.B. road. North Dumdum
(m), North 24 Parganas,
West Bengal - 700049



4199 7995 6797

VID : 9159 8156 1585 1823

1947

help@uidai.gov.in

www.uidai.gov.in

स्थायी लेखा संख्या

/PERMANENT ACCOUNT NUMBER

AGKPM9815F



नाम /NAME

INDRANIL MUKHERJEE

पिता का नाम /FATHER'S NAME

BIMALENDU MUKHERJEE

जन्म तिथि /DATE OF BIRTH

05-12-1969

हस्ताक्षर /SIGNATURE

Indranil Mukherjee

Stalin

आयकर आयुक्त, (कम्यू. सेवा.), कोल.

COMMISSIONER OF INCOME-TAX, W.B. III

Indranil Mukherjee



ভারতীয় চিহ্নিত পদ্ধতি
ভারত সরকার
 Unique Identification Authority of India
Government of India

তালিকাভুক্তির আই ডি / Enrollment No. : 1111/78465/12341

14/01/2014
 To
INDRANIL MUKHERJEE
 ইন্দ্রনীল মুখার্জী
 81/1
 M B ROAD
 NIMTA
 Nimta
 Nimta, North 24 Parganas
 West Bengal - 700049



KL727860824FT

72786082



আপনার আধার সংখ্যা / Your Aadhaar No.

7649 1967 4881

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার

Government of India

ইন্দ্রনীল মুখার্জী

INDRANIL MUKHERJEE

পিতা : বিনলেন্দু মুখার্জী

Father : BIMALENDU MUKHERJEE



জন্মতারিখ/DOB: 05/12/1969

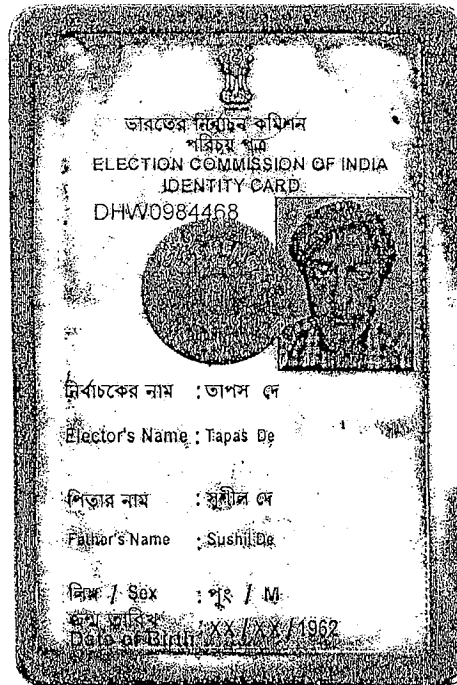
পুরুষ / Male

7649 1967 4881

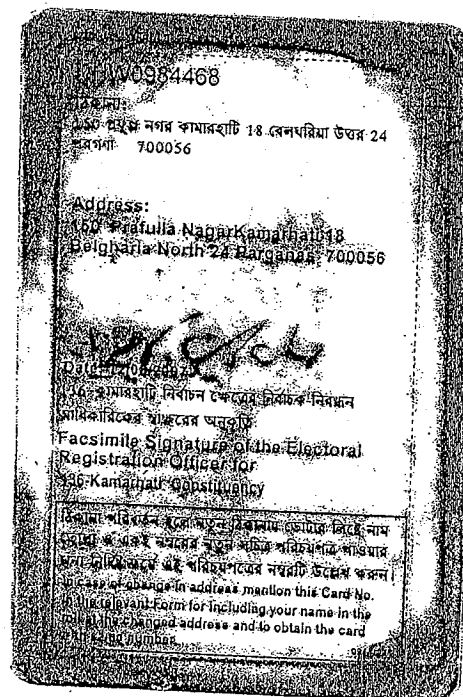


- সাধারণ মানুষের অধিকার

Indranil Mukherjee



Tapas De





Govt. of West Bengal
Directorate of Registration & Stamp Revenue
GRIPS eChallan

GRN Details

GRN: 192021220188847371
GRN Date: 20/02/2022 14:18:55
BRN : IK0BNUFHY2
Payment Status: Successful
Payment Mode: Online Payment
Bank/Gateway: State Bank of India
BRN Date: 20/02/2022 14:02:28
Payment Ref. No: 2000546931/4/2022
[Query No*/Query Year]

Depositor Details

Depositor's Name: Arup Kumar Roy Chowdhury
Address: Belghoria kolkata 700056
Mobile: 9830948428
Depositor Status: Advocate
Query No: 2000546931
Applicant's Name: Mr Arup Roy Chowdhury
Identification No: 2000546931/4/2022
Remarks: Sale, Development Agreement or Construction agreement

Payment Details

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2000546931/4/2022	Property Registration- Stamp duty	0030-02-103-003-02	20
2	2000546931/4/2022	Property Registration- Registration Fees	0030-03-104-001-16	21
Total				41

IN WORDS: FORTY ONE ONLY.

Major Information of the Deed

Deed No :	I-1526-01252/2022	Date of Registration	21/02/2022
Query No / Year	1526-2000546931/2022	Office where deed is registered	
Query Date	18/02/2022 7:47:52 PM	1526-2000546931/2022	
Applicant Name, Address & Other Details	Arup Roy Chowdhury 11, Old Post Office Street, Thana : Hare Street, District : Kolkata, WEST BENGAL, PIN - 700001, Mobile No. : 9830948428, Status : Advocate		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4305] Other than Immovable Property, Declaration [No of Declaration : 2]		
Set Forth value	Market Value		
Rs. 2/-	Rs. 16,37,499/-		
Stamp duty Paid (SD)	Registration Fee Paid		
Rs. 5,020/- (Article:48(g))	Rs. 21/- (Article:E, E)		
Remarks	Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

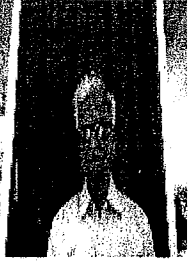
District: North 24-Parganas, P.S:- Nimta, Municipality: NORTH DUM DUM, Road: Sahid Bimalendu Roychoudhury Sarani, Mouza: Dakshin Nimta, , Ward No: 8, Holding No:7 JI No: 8, Pin Code : 700049

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	RS-5390	RS-1278/1	Bastu	Danga	1 Katha 6 Chatak 40 Sq Ft	1/-	10,29,999/-	Property is on Road
Grand Total :					2.3604Dec	1 /-	10,29,999 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	900 Sq Ft.	1/-	6,07,500/-	Structure Type: Structure
Gr. Floor, Area of floor : 500 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 1Year, Roof Type: Pucca, Extent of Completion: Complete					
Floor No: 1, Area of floor : 400 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 1Year, Roof Type: Pucca, Extent of Completion: Complete					
	Total :	900 sq ft	1 /-	6,07,500 /-	

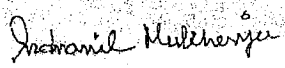
Land Lord Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name Shri PRADIP KUMAR SANYAL Son of Late Durga Prosad Sanyal Executed by: Self, Date of Execution: 21/02/2022 , Admitted by: Self, Date of Admission: 21/02/2022 ,Place : Office	Photo 	Finger Print 	Signature 
	21/02/2022	LTI 21/02/2022	21/02/2022	
Flat No. A15, 3rd Floor, UJAS, 25 M.B. Road, City:- , P.O:- Nimta, P.S:-Nimta, District:-North 24-Parganas, West Bengal, India, PIN:- 700049 Sex: Male, By Caste: Hindu, Occupation: Retired Person, Citizen of: India, PAN No.: ALxxxxxx2L, Aadhaar No: 41xxxxxxxx6797, Status :Individual, Executed by: Self, Date of Execution: 21/02/2022 , Admitted by: Self, Date of Admission: 21/02/2022 ,Place : Office				

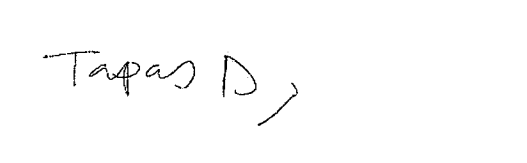
Developer Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	IM CREATIONS 1/1, Nagen Bhattacharjee Lane, City:- , P.O:- Belghoria, P.S:-Belgharia, District:-North 24-Parganas, West Bengal, India, PIN:- 700056 , PAN No.: AGxxxxxx5F,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative			

Representative Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name Shri INDRANIL MUKHERJEE (Presentant) Son of Shri Bimalendu Mukherjee Date of Execution - 21/02/2022, , Admitted by: Self, Date of Admission: 21/02/2022, Place of Admission of Execution: Office	Photo 	Finger Print 	Signature 
	Feb 21 2022 12:48PM	LTI 21/02/2022	21/02/2022	
81/1, M.B. Road, City:- , P.O:- Nimta, P.S:-Nimta, District:-North 24-Parganas, West Bengal, India, PIN:- 700049, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.: AGxxxxxx5F, Aadhaar No: 76xxxxxxxx4881 Status : Representative, Representative of : IM CREATIONS (as Sole Proprietor)				

Identifier Details :

Name	Photo	Finger Print	Signature
Shri Tapas Dey Son of Late Sushil Dey 150, Prafulla Nagar, City:- , P.O:- Belghoria, P.S:-Belgharia, District:-North 24-Parganas, West Bengal, India, PIN:- 700056			
	21/02/2022	21/02/2022	21/02/2022
Identifier Of Shri PRADIP KUMAR SANYAL, Shri INDRANIL MUKHERJEE			

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Shri PRADIP KUMAR SANYAL	IM CREATIONS-2.36042 Dec

Transfer of property for S1

Sl.No	From	To. with area (Name-Area)
1	Shri PRADIP KUMAR SANYAL	IM CREATIONS-900.00000000 Sq Ft

Land Details as per Land Record

District: North 24-Parganas, P.S:- Nimta, Municipality: NORTH DUM DUM, Road: Sahid Bimalendu Roychoudhury Sarani, Mouza: Dakshin Nimta, , Ward No: 8, Holding No:7 JI No: 8, Pin Code : 700049

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	RS Plot No:- 5390, RS Khatian No:- 1278/1		

On 21-02-2022

Certificate of Admissibility(Rule 43, W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1), W.B. Registration Rules, 1962)

Presented for registration at 11:42 hrs on 21-02-2022, at the Office of the A.D.S.R. Belghoria by Shri INDRANIL MUKHERJEE ,.

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 16,37,499/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 21/02/2022 by Shri PRADIP KUMAR SANYAL, Son of Late Durga Prosad Sanyal, Flat No. A15, 3rd Floor, UJAS, 25 M.B. Road, P.O: Nimta, Thana: Nimta, , North 24-Parganas, WEST BENGAL, India, PIN - 700049, by caste Hindu, by Profession Retired Person

Indetified by Shri Tapas Dey, , , Son of Late Sushil Dey, 150, Prafulla Nagar, P.O: Belghoria, Thana: Belgharia, , North 24-Parganas, WEST BENGAL, India, PIN - 700056, by caste Hindu, by profession Service

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 21-02-2022 by Shri INDRANIL MUKHERJEE, Sole Proprietor, IM CREATIONS (Sole Proprietorship), 1/1, Nagen Bhattacharjee Lane, City:- , P.O:- Belghoria, P.S:-Belgharia, District:-North 24-Parganas, West Bengal, India, PIN:- 700056

Indetified by Shri Tapas Dey, , , Son of Late Sushil Dey, 150, Prafulla Nagar, P.O: Belghoria, Thana: Belgharia, , North 24-Parganas, WEST BENGAL, India, PIN - 700056, by caste Hindu, by profession Service

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 21/- (E = Rs 21/-) and Registration Fees paid by Cash Rs 0/-, by online = Rs 21/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 20/02/2022 2:21PM with Govt. Ref. No: 192021220188847371 on 20-02-2022, Amount Rs: 21/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0BNUFHY2 on 20-02-2022, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 5,020/- and Stamp Duty paid by Stamp Rs 5,000/-, by online = Rs 20/-

Description of Stamp

1. Stamp: Type: Court Fees, Amount: Rs.10/-

2. Stamp: Type: Impressed, Serial no 414883, Amount: Rs.5,000/-, Date of Purchase: 08/02/2022, Vendor name: S CHATTERJEE

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 20/02/2022 2:21PM with Govt. Ref. No: 192021220188847371 on 20-02-2022, Amount Rs: 20/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0BNUFHY2 on 20-02-2022, Head of Account 0030-02-103-003-02



Sougata Das

ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. Belghoria
North 24-Parganas, West Bengal

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1526-2022, Page from 53952 to 53980
being No 152601252 for the year 2022.



Digitally signed by SOUGATA DAS
Date: 2022.02.23 10:45:24 +05:30
Reason: Digital Signing of Deed.

Sou

(Sougata Das) 2022/02/23 10:45:24 AM
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. Belghoria
West Bengal.

(This document is digitally signed.)